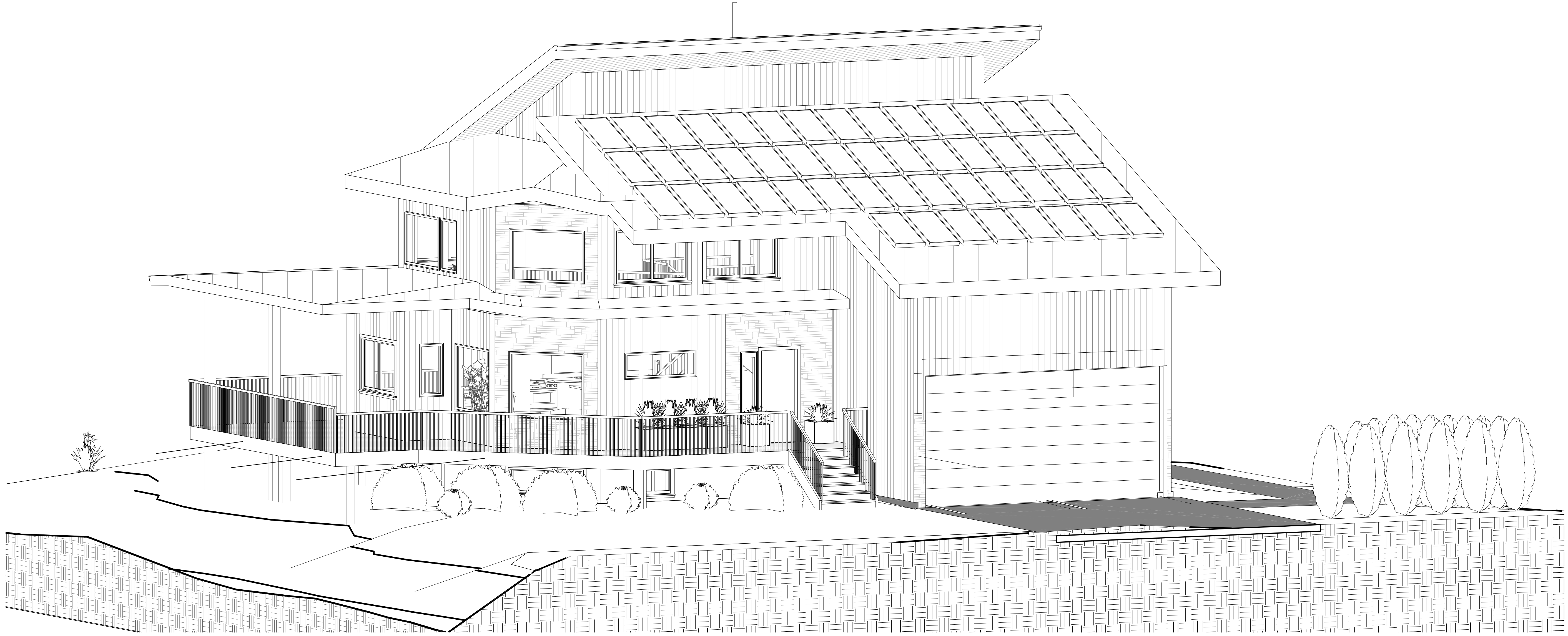


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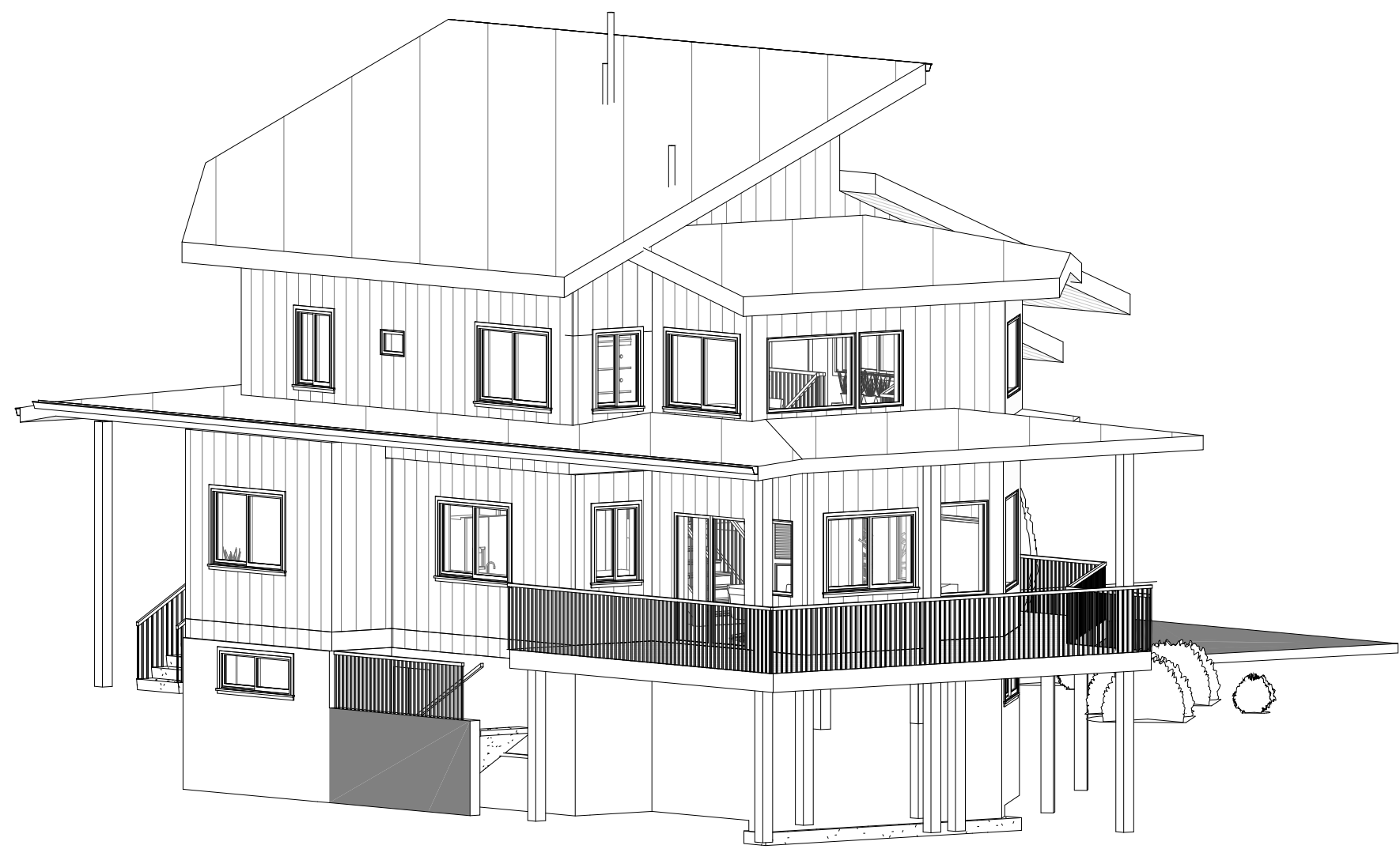
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**ARCHITECTURAL  
AND  
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1  
A0 3D for Render



2  
A0 3D for Title


No.	Revision	Date	By
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PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**TITLE PAGE**

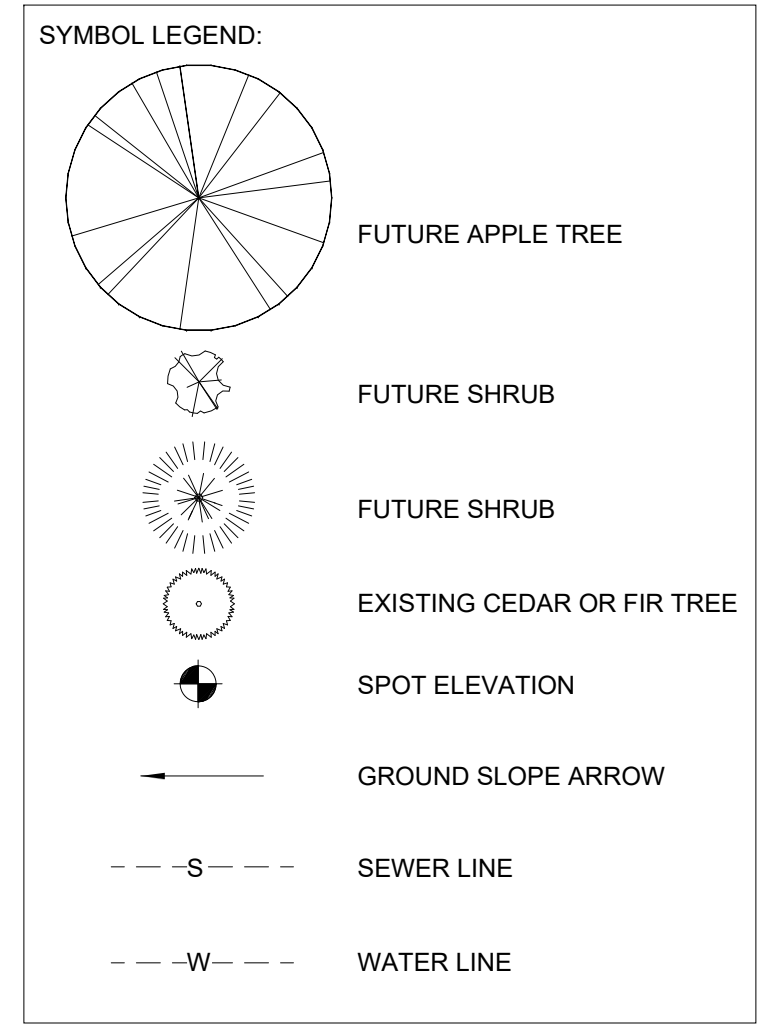
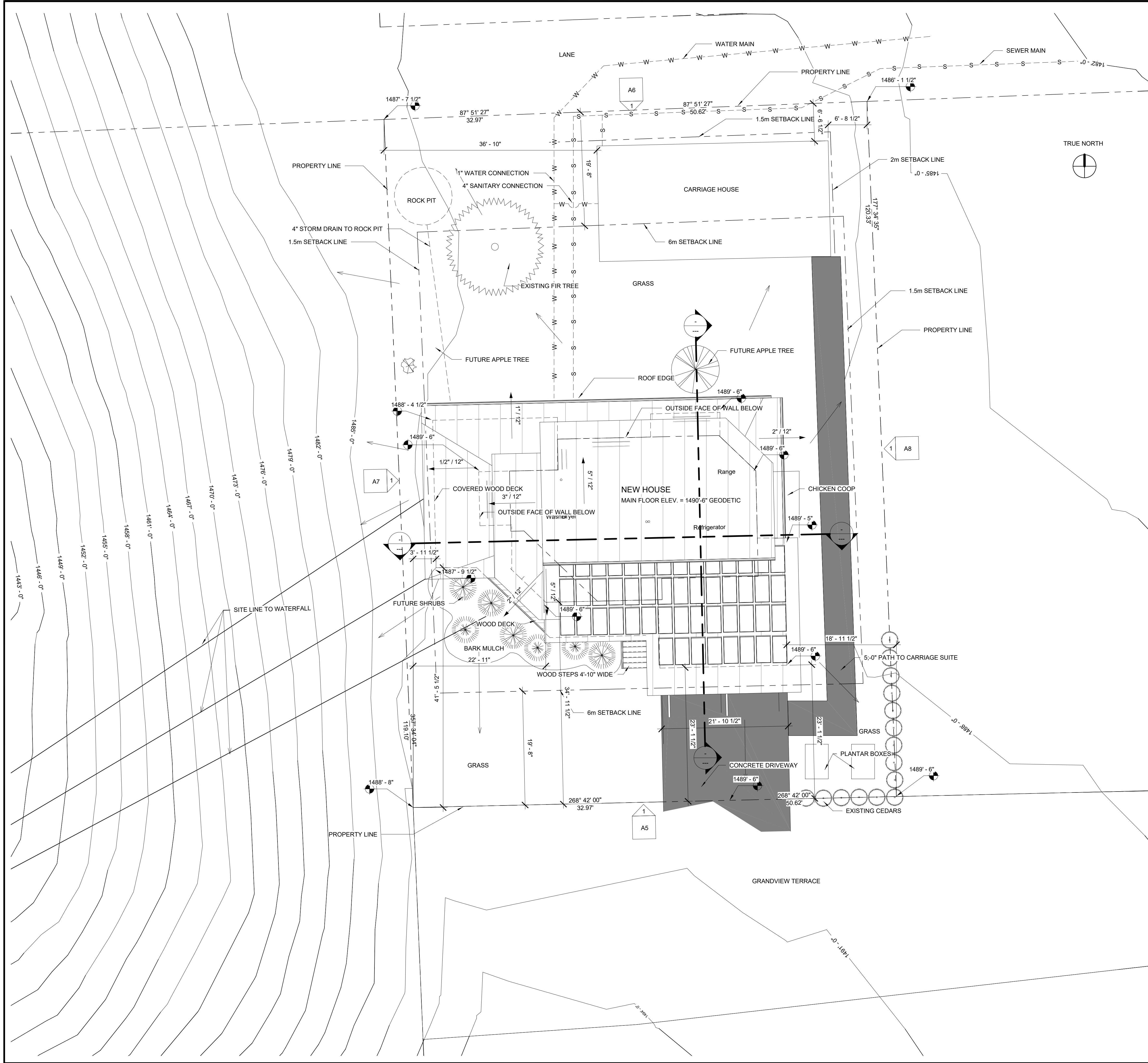
SCALE

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DATE 09/20/20	JOB NO. 001
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**A0**

2020-09-20 2:59:15 PM



**ZONING NOTES:**

CIVIC ADDRESS: 732 GRANDVIEW TERRACE  
 LEGAL DESCRIPTION: PL 7569 LT 8 SEC 6 TWP  
 20 RGE 17 MER 6  
 CURRENT ZONING: RT-1  
 LOT AREA: 10005.78 SF  
 BUILDING AREA: 2053.82 SF  
 LOT COVERAGE: 21%  
 MAX. LOT COVERAGE: 40%  
 MIN. PARKING REQUIRED: 3 STALLS  
 PARKING PROVIDED: 4 STALLS



No.	Revision	Date	By

PROJECT NAME  
**GRANDVIEW FAMILY  
HOME**

DRAWING TITLE  
**SITE PLAN**

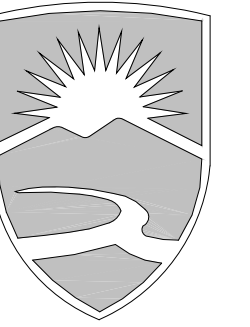
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 1/8" = 1'-0"

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DATE 03/04/20	JOB NO. 001
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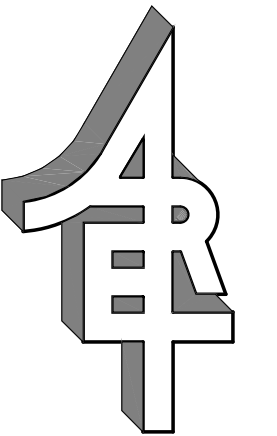
DRAWING NO.  
**A1**

1 SITE PLAN  
 A1 1/8" = 1'-0"  
 BUILDING FOOTPRINT: 2053.82 SF

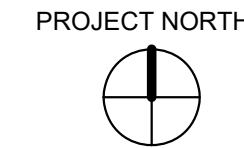
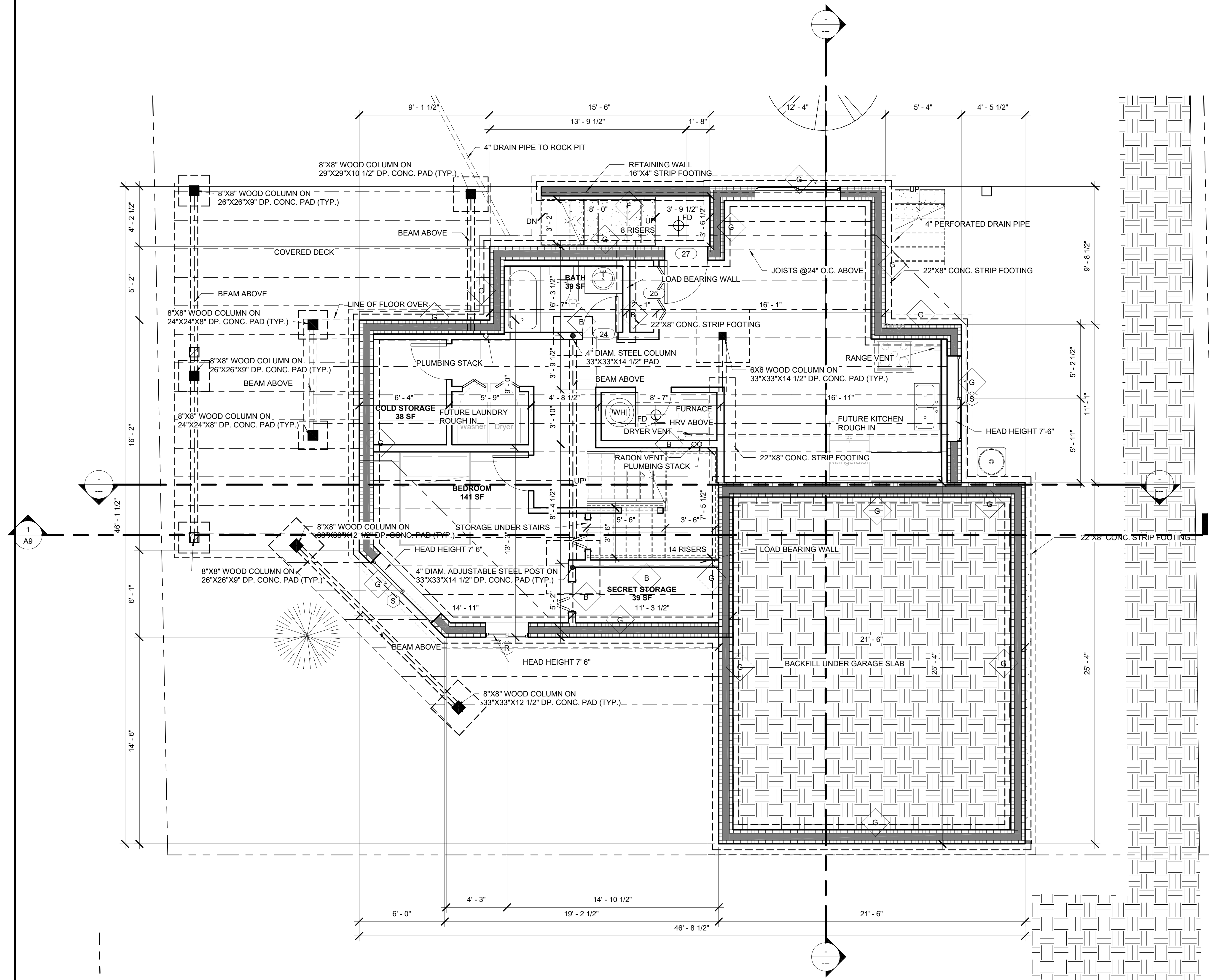


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**ARCHITECTURAL AND ENGINEERING TECHNOLOGY**



**SYMBOL LEGEND:**

- BATHROOM FAN (PER 9.32.3.6 BCBC)
- SMOKE/CARBON MONOXIDE DETECTOR (PER 9.10.19.3 AND 9.32.4.2 BCBC)
- DOOR TAG
- WALL TAG
- WINDOW TAG

DOOR SCHEDULE				
DOOR NUMBER	WIDTH	HEIGHT	TYPE	COMMENTS
1	3' - 0"	6' - 8"	Single-Flush	
2	3' - 0"	6' - 8"	Single-Flush	
3	3' - 0"	6' - 8"	Single-Flush	
4	3' - 0"	6' - 8"	Single-Flush	
5	3' - 0"	7' - 0"	Single-Flush	
6	3' - 0"	7' - 0"	Single-Flush	
7	2' - 6"	6' - 8"	Single-Flush	
8	2' - 6"	6' - 8"	Single-Flush	
9	2' - 6"	6' - 8"	Single-Flush	
11	2' - 6"	6' - 8"	Single-Flush	
12	2' - 6"	6' - 8"	Single-Flush	
13	5' - 11"	6' - 10 1/2"	M_Door-Double-Sliding	
14	20' - 0"	10' - 0"	M_Door-Overhead-Sectional	
15	2' - 0"	6' - 6 1/2"	M_Door-Interior-Single-1_Panel-Wood	
16	2' - 6"	6' - 8"	Single-Flush	
17	2' - 6"	6' - 8"	Single-Flush	
18	1' - 3"	6' - 10 1/2"	M_Door-Exterior-Side_Lite-Full Flat Glass-Wood_Clad	
19	3' - 0"	7' - 0"	Single-Flush	
20	4' - 6"	7' - 0"	Bifold_four_panel_door_2_panel_wit h_arch_top_3371 (1)	
22	4' - 6"	7' - 0"	Bifold_four_panel_door_2_panel_wit h_arch_top_3371 (1)	
23	3' - 0"	7' - 0"	2_Panel_Bifold_Door_18618 (1)	
24	2' - 6"	6' - 8"	Single-Flush	
25	4' - 0"	6' - 8"	Bifold_four_panel_door_2_panel_wit h_arch_top_3371 (1)	
27	3' - 0"	7' - 0"	Single-Flush	
32	2' - 6"	6' - 8"	Single-Flush	
33	2' - 0"	7' - 0"	2_Panel_Bifold_Door_18618 (1)	
34	4' - 0"	6' - 8"	Bifold_four_panel_door_2_panel_wit h_arch_top_3371 (1)	
36	2' - 0"	7' - 0"	2_Panel_Bifold_Door_18618 (1)	
37	2' - 6"	6' - 8"	Single-Flush	
38	2' - 6"	6' - 8"	Single-Flush	
39	2' - 6"	6' - 8"	Single-Flush	
40	4' - 0"	6' - 8"	Bifold_four_panel_door_2_panel_wit h_arch_top_3371 (1)	

**1 BASEMENT**  
A2 1/4" = 1'-0"  
TOTAL FLOOR AREA: 957.88

No. Revision Date By

PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**BASEMENT FLOOR PLAN**

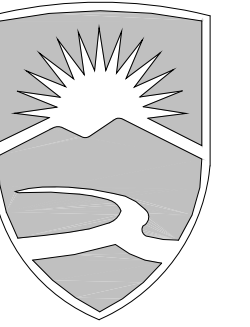
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1/4" = 1'-0"

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DATE: 03/23/20  
JOB NO.: 001

DRAWING NO.

**A2**



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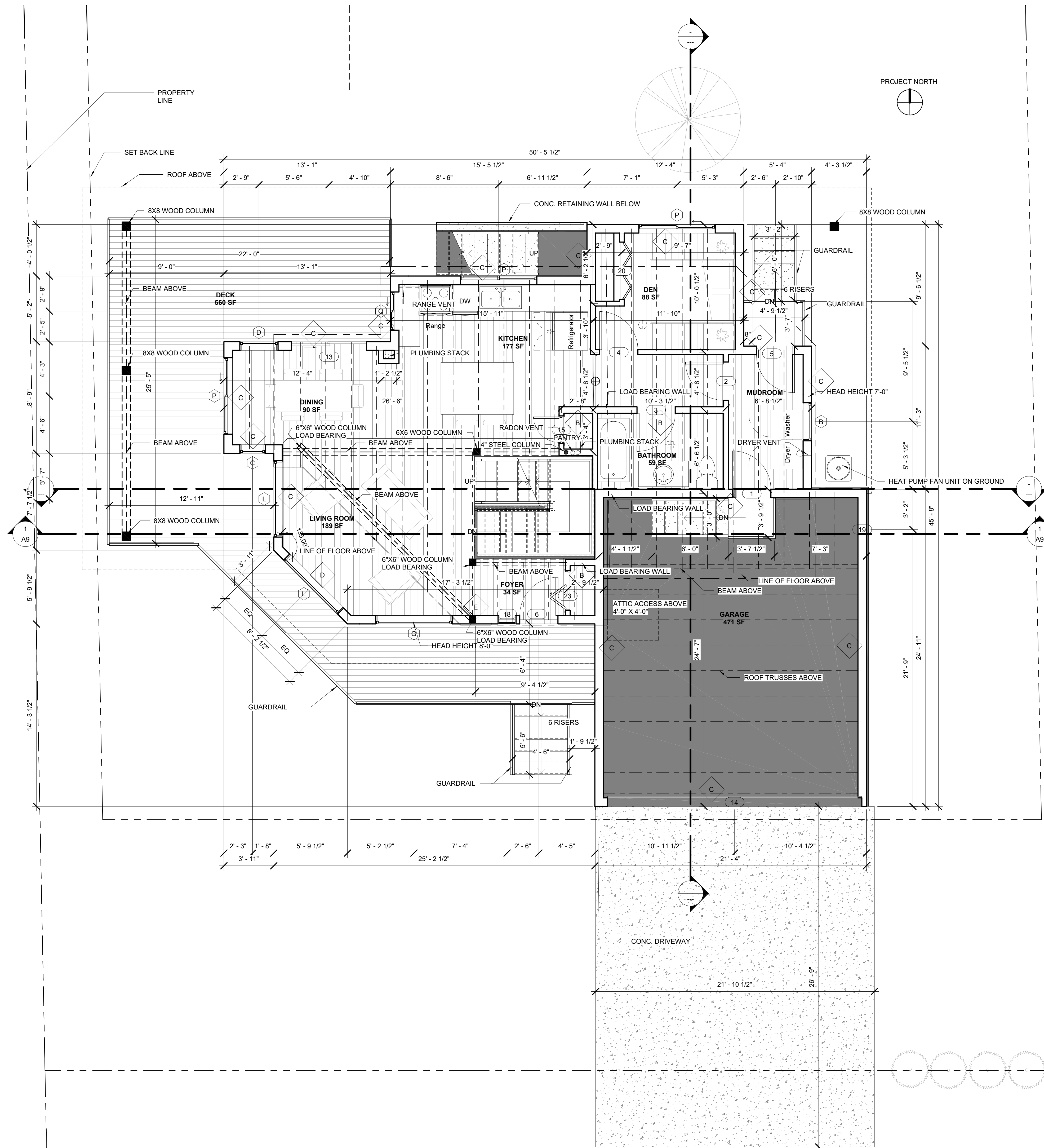


**ARCHITECTURAL  
AND  
ENGINEERING  
TECHNOLOGY**

**WALL SCHEDULE**

- A** TYPE A: 4 1/2" WOOD FRAME PARTITION WALL  
1/2" GWB  
2"x4" STUDS @ 24" O.C.  
1/2" GWB
- B** TYPE B: 6" WOOD FRAME PLUMBING/  
LOAD BEARING WALL  
1/2" GWB  
2"x6" STUDS @ 24" O.C.  
1/2" GWB
- C** TYPE C: 3" DOUBLE STUD EXTERIOR WALL  
VERTICAL BOARD AND BATTON SIDING  
1/2" FURRING STRIPS  
MOISTURE BARRIER (BUILDING PAPER)  
1/2" OSB SHEATHING  
8" SPRAY APPLIED CELLULOSE INSUL. BETWEEN STUDS  
2"x8" TOP AND BOTTOM PLATES  
2"x4" STUDS @ 24" O.C. OFFSET ON  
6 MIL POLY VAPOUR BARRIER  
1/2" GWB ON INTERIOR
- D** TYPE D: 8" DOUBLE STUD EXTERIOR WALL  
STONE VENEER  
MOISTURE BARRIER (2 LAYERS OF BUILDING PAPER)  
1/2" OSB SHEATHING  
8" SPRAY APPLIED CELLULOSE INSUL. BETWEEN STUDS  
2"x8" TOP AND BOTTOM PLATES  
2"x4" STUDS @ 24" O.C. OFFSET ON  
6 MIL POLY VAPOUR BARRIER  
1/2" GWB ON INTERIOR
- F** TYPE F: EXTERIOR RETAINING WALL  
8" CAST IN PLACE CONCRETE WALL
- G** TYPE G: INSULATED CONCRETE FORM WALL  
BELOW GRADE: WATER PROOF MEMBRANE OR  
DRAIN MAT ON EXTERIOR  
ABOVE GRADE: STUCCO  
PARSING ON WIRE LATH  
MOISTURE BARRIER (2 LAYERS OF BUILDING PAPER)  
  
3" ICF PANEL  
6" CONCRETE CORE  
3" ICF PANEL  
1/2" GWB ON INTERIOR MECHANICALLY FASTENED  
TO ICF WEBS (NO GLUE)

**1** MAIN FLOOR  
A3 1/4" = 1'-0"  
TOTAL FLOOR AREA: 1496.81 SF



No.	Revision	Date	By

PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**MAIN FLOOR PLAN**

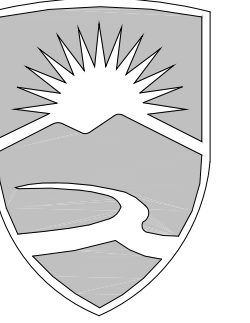
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DATE 03/23/20	JOB NO. 001
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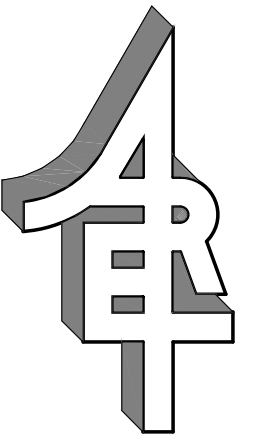
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**A3**



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**ARCHITECTURAL AND ENGINEERING TECHNOLOGY**

No.	Revision	Date	By

PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**UPPER FLOOR PLAN**

SCALE  
 1/4" = 1'-0"

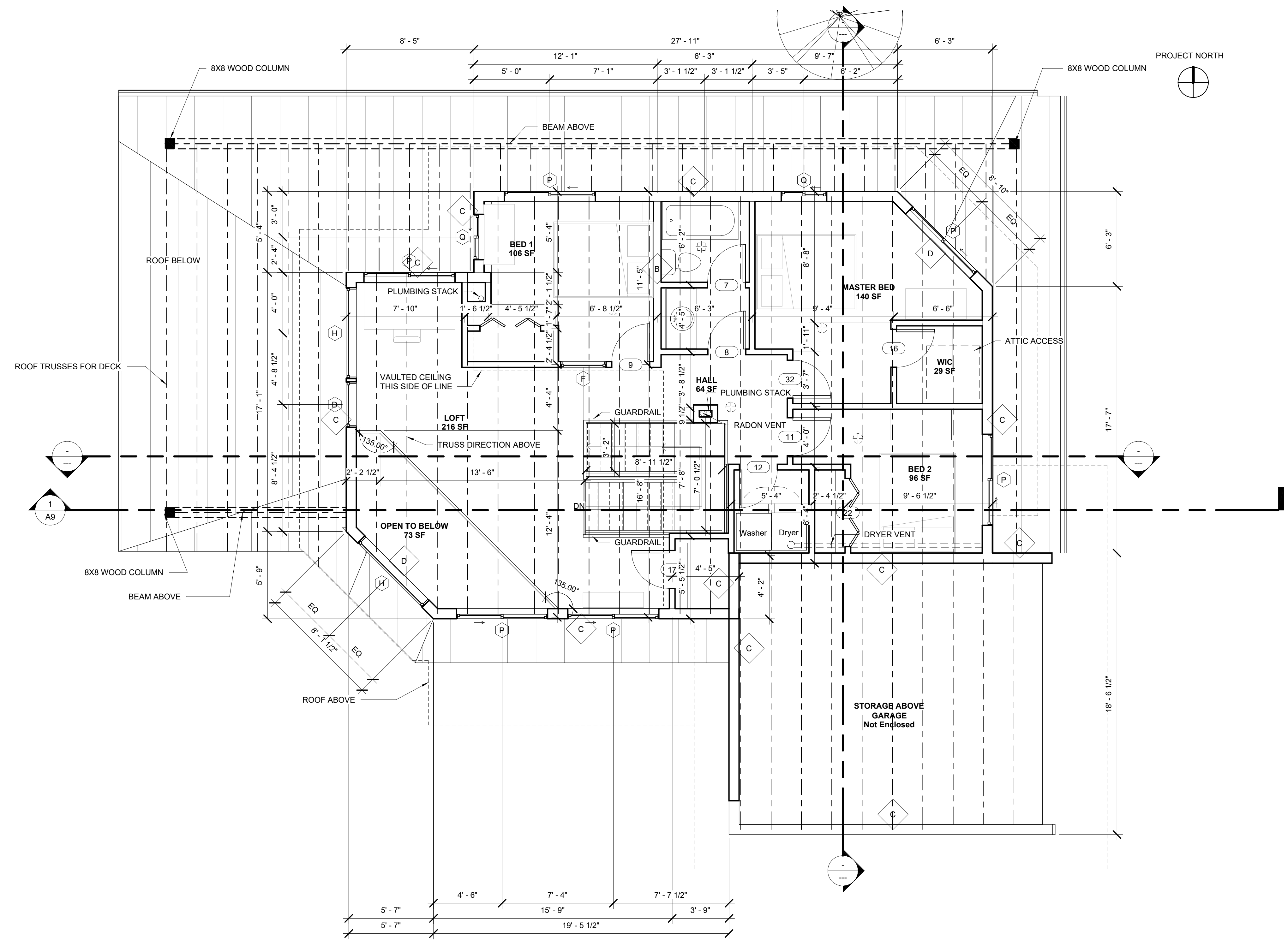
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 HCLARK

CHECKED  
 DPARKES

DATE  
 03/23/20

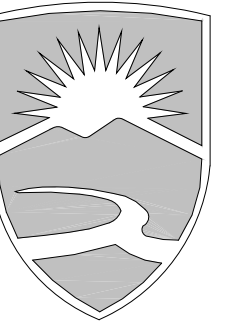
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DRAWING NO.  
**A4**



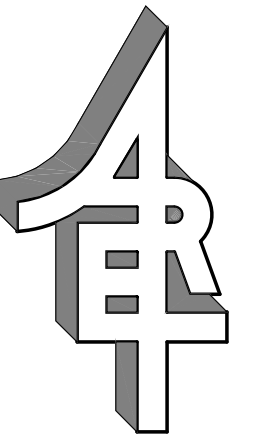
WINDOW SCHEDULE						
TYPE	QTY	WIDTH	HEIGHT	HEAD HEIGHT	STYLE	COMMENTS
B	1	3' - 0"	2' - 0"	15' - 0"	Fixed	HEAD HEIGHT 7'-6" UNLESS NOTED ON PLAN
C	1	2' - 0"	4' - 0"	7' - 3"	Fixed	
D	2	3' - 0"	4' - 0"		Fixed	HEAD HEIGHT 7'-6" ON BASEMENT; 7'-0" ON MAIN FLOOR; 6'-0" ON UPPER FLOOR
F	1	3' - 0"	8"	6' - 8"	Fixed	
G	1	6' - 0"	2' - 0"	7' - 3"	Fixed	HEAD HEIGHT 7'-6" UNLESS NOTED ON PLAN
H	2	6' - 0"	4' - 0"	6' - 6"	Fixed	HEAD HEIGHT 7'-6" ON BASEMENT; 7'-0" ON MAIN FLOOR; 6'-0" ON UPPER FLOOR
J	1	2' - 0"	1' - 4"	5' - 10"	Fixed	
L	2	6' - 0"	5' - 0"	7' - 3"	Fixed	
P	9	6' - 0"	4' - 0"		M_Window-Sliding-Double	HEAD HEIGHT 7'-6" ON BASEMENT; 7'-0" ON MAIN FLOOR; 6'-0" ON UPPER FLOOR
Q	3	3' - 0"	4' - 0"		M_Window-Sliding-Double	HEAD HEIGHT 7'-6" ON BASEMENT; 7'-0" ON MAIN FLOOR; 6'-0" ON UPPER FLOOR
R	1	3' - 0"	2' - 0"	7' - 6"	M_Window-Sliding-Double	HEAD HEIGHT 7'-6" UNLESS NOTED ON PLAN
S	3	6' - 0"	2' - 0"	7' - 6"	M_Window-Sliding-Double	

1 UPPER FLOOR  
 A4 1/4" = 1'-0"  
 TOTAL FLOOR AREA: 968.61 SF



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**ARCHITECTURAL AND ENGINEERING TECHNOLOGY**

No. Revision Date By

PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**SOUTH ELEVATION**

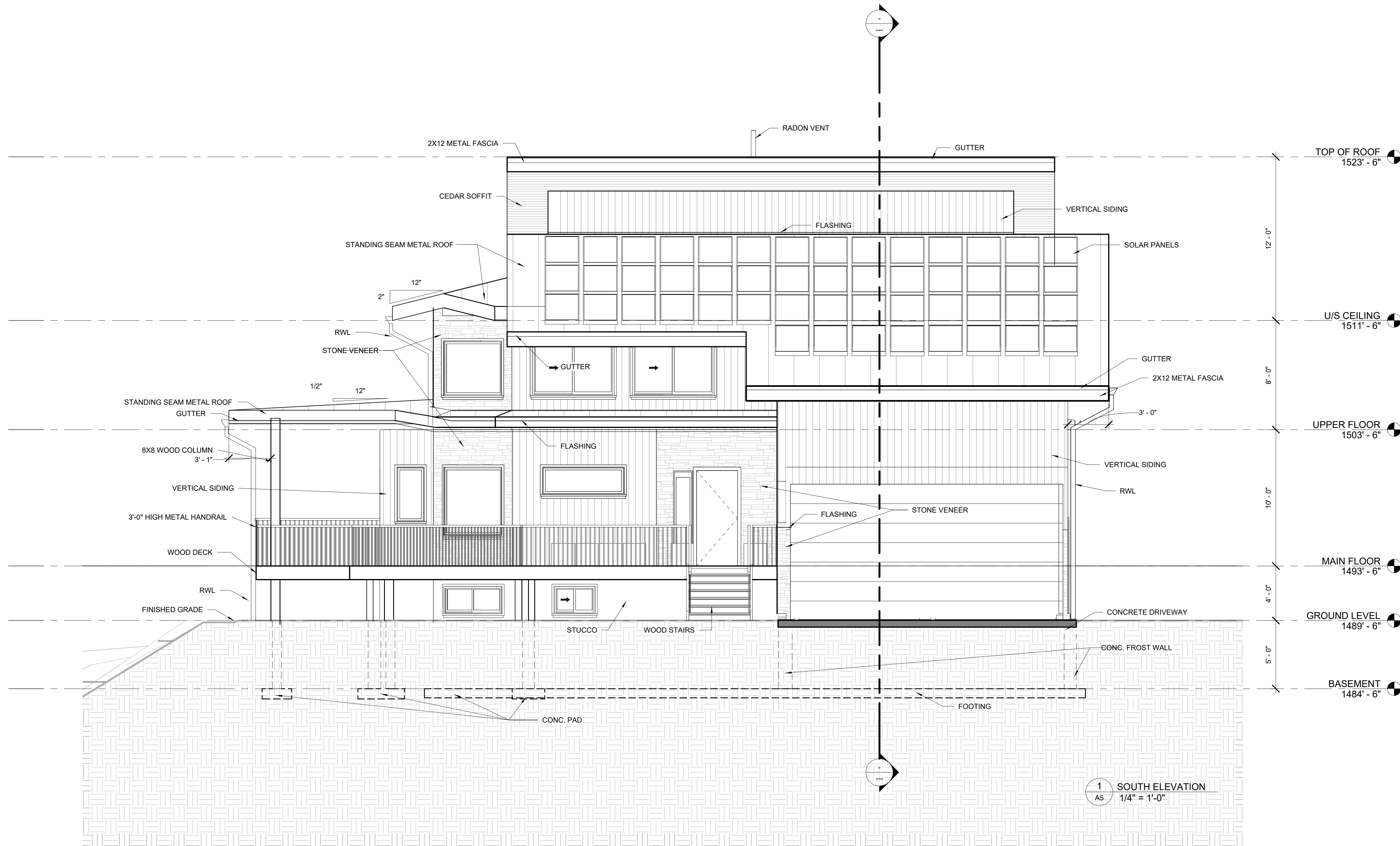
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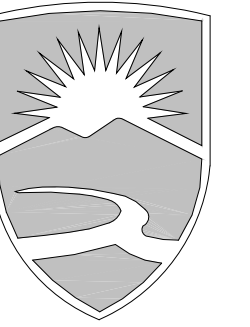
DRAWN BY: HCLARK  
CHECKED: DPARKES

DATE: 03/31/20  
JOB NO.: 001

DRAWING NO.

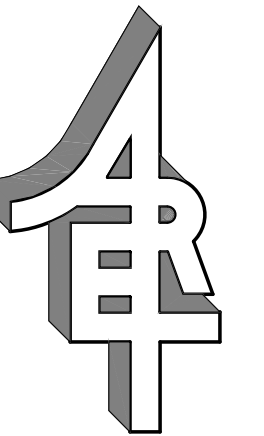
**A5**



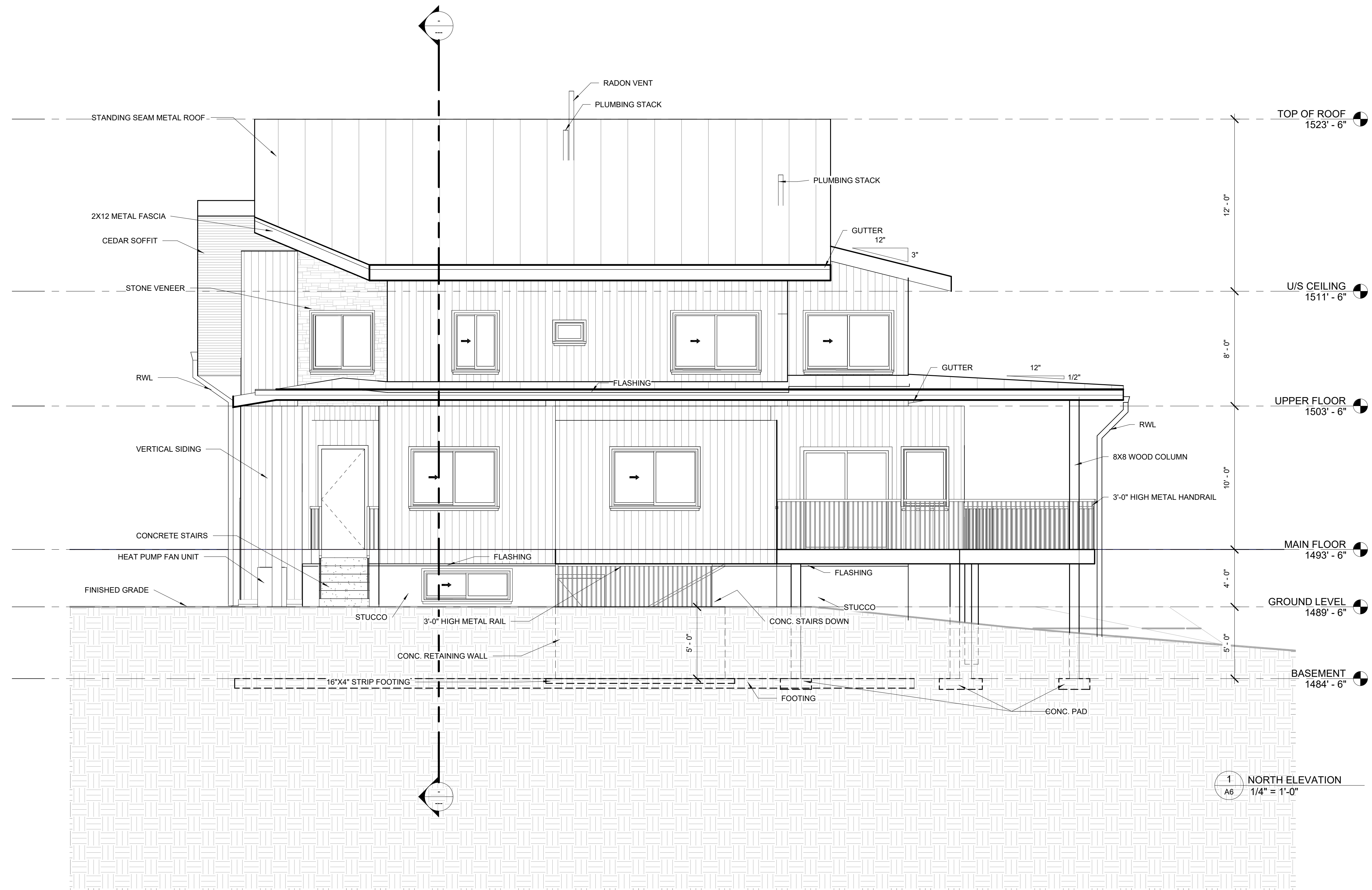


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1 NORTH ELEVATION  
A6 1/4" = 1'-0"

No. Revision Date By

PROJECT NAME

**GRANDVIEW FAMILY HOME**

DRAWING TITLE

**NORTH ELEVATION**

SCALE

1/4" = 1'-0"

DRAWN BY

HCLARK

CHECKED

DPARKES

DATE

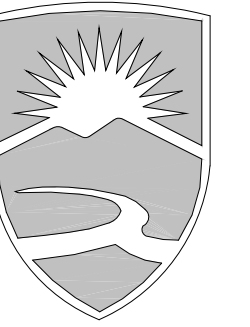
03/31/20

JOB NO.

001

DRAWING NO.

**A6**



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**ARCHITECTURAL AND ENGINEERING TECHNOLOGY**

No. Revision Date By

PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**WEST ELEVATION**

SCALE  
1/4" = 1'-0"

DRAWN BY  
HCLARK

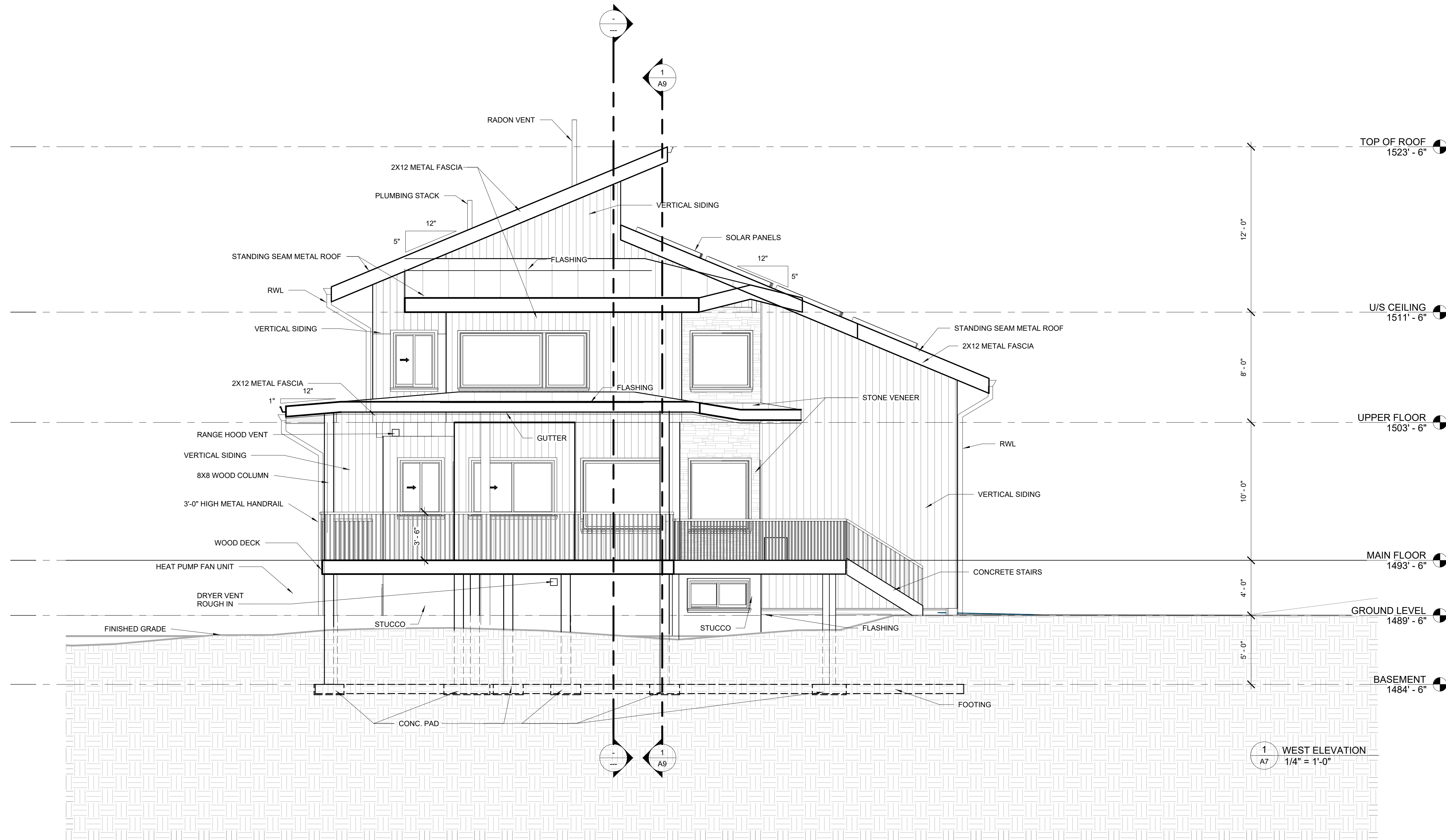
CHECKED  
DPARKES

DATE  
03/31/20

JOB NO.  
001

DRAWING NO.

**A7**



**EXTERIOR FINISH SCHEDULE**

SIDING: VERTICAL BOARD AND BATTON SIDING  
COLOUR: BENJAMIN MOORE-NEW YORK STATE OF MIND

STONE VENEER: VERSETTA STONE LEDGESTONE STYLE VENEER  
COLOUR: STERLING

STUCCO: SYNTHETIC FINISH  
COLOUR: BENJAMIN MOORE-STONINGTON GREY

ROOFING: STANDING SEAM GALVANIZED STEEL ROOF  
COLOUR: MATTE BLACK

DOORS: FIBERGLASS  
COLOUR: CASHMERE

WINDOWFRAMES: FIBERGLASS  
COLOUR: CASHMERE

FASCIA AND EAVESTROUGHS: PAINTED ALUMINUM  
COLOUR: CHARCOAL

SOFFIT: CEDAR SOFFIT, VENTED  
COLOUR: DARK WALNUT STAIN

FLASHING: PREPAINTED GALVANIZED STEEL  
COLOUR: CHARCOAL

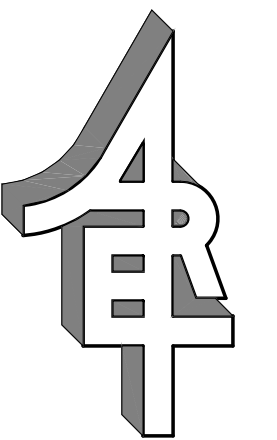
**NOTE:**  
FLASHING, AS REQUIRED BY CODE, TO BE PROVIDED ABOVE AND BELOW ALL WINDOWS AND DOORS.



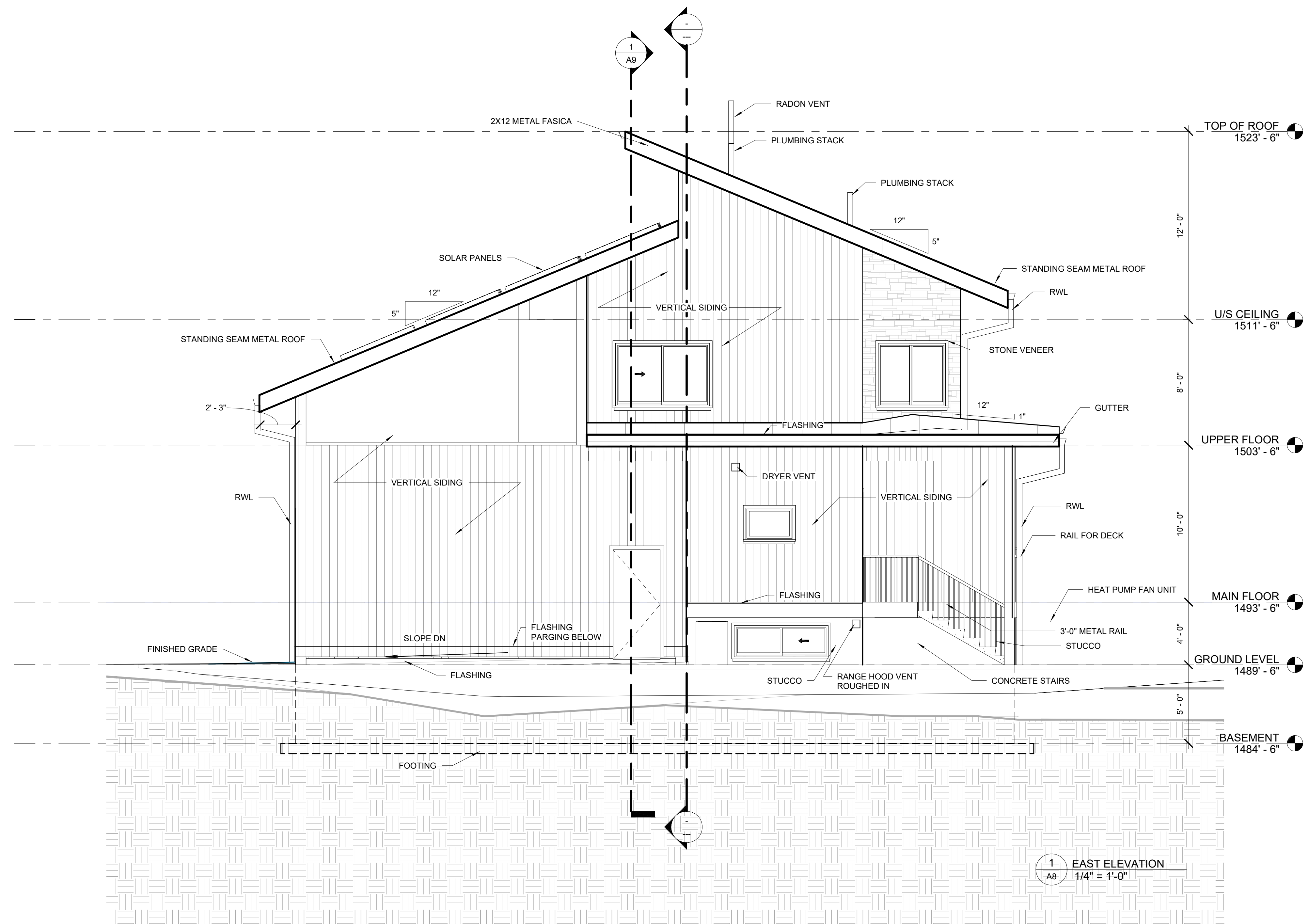


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No.	Revision	Date	By

PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**EAST ELEVATION**

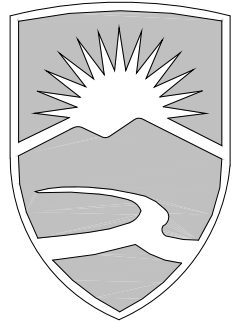
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DATE 03/31/20	JOB NO. 001
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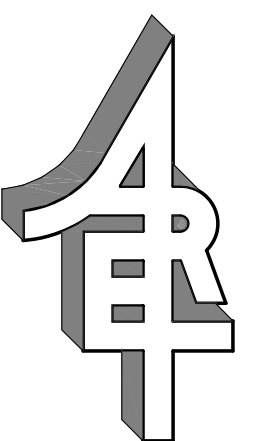
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**A8**



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**ARCHITECTURAL AND ENGINEERING TECHNOLOGY**

- GENERAL NOTES**
- The following notes are to be included as part of the drawings:
  - The Contractor or the Owner shall verify all dimensions, details, structural materials and conditions shown on the drawings or noted in the specifications.
  - The Contractor or Owner shall resolve any problems arising out of any variances from the drawings and specifications, or from conditions encountered at the job site. Such resolution shall be the sole responsibility of the Contractor or Owner.
  - The Designer shall not be responsible for any departure from the drawings and specifications authorized by any inspection authority during the course of construction.
  - The Contractor or the Owner shall ensure that all work conform to the current Building Code adopted by the authorities having jurisdiction or local Building Codes and By-laws that may take precedence.
  - The Contractor or the Owner shall be responsible for correct placement of this building on the site. The Designer does not guarantee that this building will fit a particular site, unless a legal survey plan and a copy of the applicable zoning by-laws stating the required setbacks from all property lines is received by this office in advance of the development and issuance of these drawings.
  - The Designer shall not be responsible for site conditions such as soil bearing capacity, depths of water tables or buried structures.
  - All work shall be equal in all respects to good building practice.
  - Written dimensions take precedence over scaled drawings.
  - Construction loads on the structure caused by interim storage of materials or use of equipment will not be allowed to exceed the design loads.

- ERRORS AND OMISSIONS**
- The Designer makes every effort to provide complete and accurate home plans. This office assumes no liability for any errors or omissions that may affect construction.
  - Should any discrepancies be found on this set of drawings, please advise our office at your earliest convenience.

- STRUCTURAL DESIGN**
- Although this building is designed using standard engineering and building practices, the authority having jurisdiction may require confirmation by a certified Structural Engineer. If required, the Contractor or Owner shall be responsible for making arrangements for such service.

- STRUCTURAL DESIGN CRITERIA**
- Assumed roof design snow load (live + dead) = 2.0 kN/m<sup>2</sup> (40 p.s.f.)
  - Assumed soil bearing capacity = 119.7 kN/m<sup>2</sup> (2,500 psf).
  - Concrete foundation walls and slabs-on-grade shall have a minimum compressive strength of 20 mpa (3000 psi) at 28 days.
  - All reinforcing bars shall be billet steel complying with CSA-G30.10.

- BUILDING SPECIFICATIONS**
- Foundations:**
- Foundations shall be concrete on solid undisturbed bearing and below frost line.
  - Basement foundation walls shall not be backfilled until:
    - concrete has reached its specified 28 day strength
    - structural floor framing, including subfloor, required to support the walls is complete and fully nailed and anchored.
  - Foundation wall heights may require adjustment to suit site conditions.
  - All concrete and masonry foundation walls exceeding limits specified in the current Building Code require engineering.
  - All foundation walls shall be 12" LOGIX Insulated Concrete Forms (ICF).
  - Installation of LOGIX ICF products shall be in conformance to the Installation Manual or as per the Technical Advisor's recommendations. Alternate installation methods shall be approved by the Owners' engineer.
  - All foundation walls 24" (600mm) and higher shall have one W (12mm) reinforcing bar centred on wall and located 3" (75mm) from the top of wall.

- Corner reinforcing to be lapped minimum 24" (600mm).
- Provide minimum clear concrete cover of 1 1/2" (38mm).
- The Contractor shall examine all applicable drawings for locations of embedded items before placing concrete.
- Perimeter drainage shall be installed where required to the approval of local authorities.

- Wood-Frame Construction:**
- Dimensions are taken from outside face of exterior wall studs to centreline of interior wall studs. Face of exterior studs to be flush with outside face of foundation wall. Exceptions noted. All studs, plates, backing, blocking and bridging to be no. 2 Spruce or better.
  - All joists, rafters, beams and lintels to be no. 2 Douglas Fir or better. Exceptions noted.
  - Floor joists shall be doubled under all non-loadbearing partitions parallel to the joists.
  - Joists are to be placed to accommodate hearing, plumbing and other services.
  - All lintels to be 2-2x10 (2-38x235). Exceptions noted.
  - Wood in contact with concrete to be dampproofed with 45 lb. tar saturated felt, 6 mil polyethylene or other approved material.
  - All wood plates are to be anchored to foundations with 1/2" (12mm) diameter anchor bolts at spacing not exceeding 6'-0" (1,800mm) o.c. Exceptions noted.
  - Exterior wood plates are to be level and sealed at contact with concrete foundation.
  - Cross-bridging for floor joists and roof joists shall be 2x2 (38x38) diagonal type wherever possible.
  - Cross-bridging rows shall be installed at mid-span for joist spans exceeding 7'-0" (2100mm) or at 7'-0" o.c. maximum, unless strapping or sheathing is applied to the underside of joists.
  - Roof trusses may require an engineer's certificate. For pre-engineered trusses, a certificate may be obtained from the truss fabricator.
  - Caulk under all exterior door frames and at both sides of exposed masonry chimneys.

- Insulation and Ventilation:**
- Minimum insulation requirements:
 

<b>Walls:</b>	<b>R17.5 (RSI 3.08)</b>
<b>Attic Space:</b>	<b>R49.2 (RSI 8.67)</b>
<b>Roof Joist Assemblies:</b>	<b>R26.5 (RSI 4.67)</b>
<b>Under slabs:</b>	<b>R11.1 (RSI 1.96)</b>
  - 6 mil polyethylene vapour barrier shall be installed on the warm side of insulation.
  - Wall insulation to be fibreglass batt type and/or extruded polystyrene insulation.
  - Ceiling insulation may be loose fill type or fibreglass batt type.
  - Under slab insulation to be extruded polystyrene type.
  - Provide a baffle of air space (equal to soffit venting area) between insulation and roof sheathing at exterior wall line.
  - All walls and ceilings between residential spaces and garages or carports shall be insulated.
  - Insulation requirements may vary with heating systems and with local conditions. Verify with local authorities.
  - All roof spaces shall be ventilated with soffit, roof or gable vents, or a combination of these equally distributed between the top of roof space and soffits.
  - The total unobstructed Venting area for attics and roof spaces shall be minimum 1/300 of the insulated ceiling area. Where the roof slope is less than 1 in 6, or in roofs constructed of roof joists, the unobstructed vent area shall be not less than 1/150.
  - Vents for crawlspaces must have a minimum total unobstructed area 1/500 of the crawlspace floor area, must be uniformly distributed on opposite sides of the building, and must be designed to prevent the entry of snow, rain, and insects.

- Masonry:**
- All masonry work shall be in accordance with the current B.C. Building Code.

- Finishing:**
- All interior and exterior finishes shown on the drawings shall be confirmed by the Owner.
  - Exterior doors shall be solid core and weather-stripped.
  - Garage doors to dwelling area to be solid core, weather-stripped and self-closing.
  - All horizontal changes in exterior finishes to be flashed.

- Flashing to be installed over all unprotected exterior openings.
- Sliding glass doors shall have safety glass.
- Window sizes are shown in feet and inches (e.g. 5'0"x4'0" = 5'-0" wide by 4'-0" high).
- Door sizes are shown in feet and inches (e.g. 2'0"x6'8" = 2'-8" wide by 6'-8" high).
- Openings in partitions shown without doors are to be full height unless shown as an arch. Lintels at archways to be framed 6'-11" high. Exceptions noted.
- Coast and clothes closets shall have one rod and shelf. Linen closets shall have 5 adjustable shelves where possible. Broom closets shall have one shelf.
- All bathrooms shall have a wall medicine cabinet or one lockable cabinet drawer.

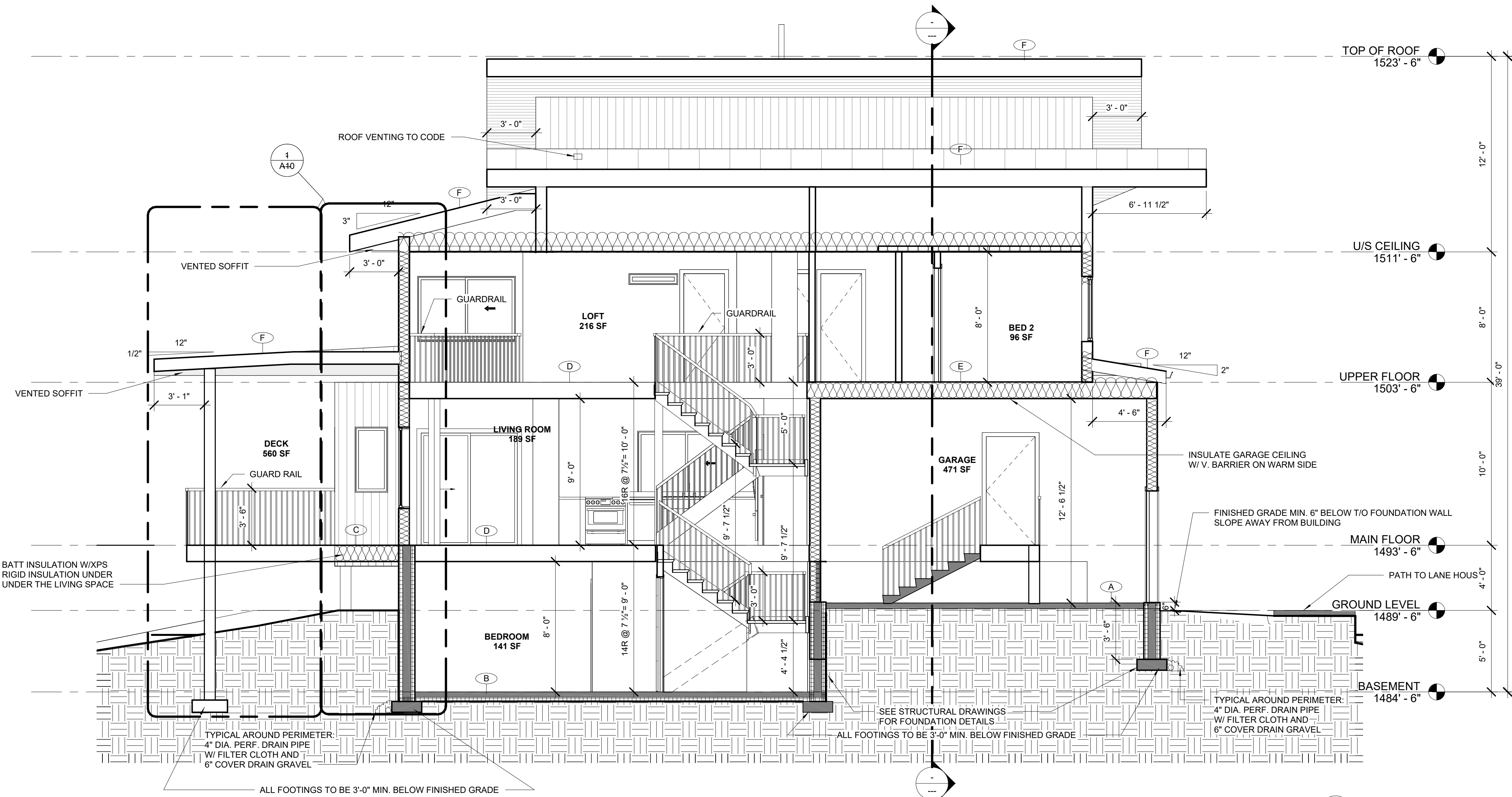
- Heating:**
- Installation of entire heating system, whether electric, forced warm air or hot water, must comply with manufacturer's directions (where applicable) and conform to requirements of local codes and regulations in all respects.
  - Gas connection will require separate permit and inspection.
  - All supply air ducts to be installed overhead in basement unless specified otherwise.
  - All return air intakes and registers to be located and installed for maximum efficiency by a qualified heating contractor.

- Plumbing:**
- All materials, equipment and methods of installation shall be in accordance with requirements outlined in Part 7 of the B.C. Building Code and applicable local regulations.
  - When the Owner's property is not located on a municipal sewer system, wells and septic disposal systems are to be located and constructed in accordance with health authorities having jurisdiction.

- Electrical:**
- Installation of electrical items must comply with B.C. Electrical Code and with the local electrical supplier in all respects.
  - Outlet locations must comply with or exceed current minimum requirements outlined in the B.C. Building Code. The minimum requirements outlined in the B.C. Building Code. The minimum requirements are to be used as a guide only, and may be adjusted according to the Owner's and/or local authority's specific requirements beyond the minimum.

**ABBREVIATIONS**

AC.	Acoustic	FTG.	Footing	SIC	Solid core
B.C.B.C.	B.C. Building Code	FURN.	Furnace	SH.	Shower
BD.	Board	GA.	Gauge	SUSP.	Suspended
B.F.	Blind door	LINO.	Linoleum	T/O	Top of
BLDG.	Building	LOUV.	Louvered	TYP.	Typical
BM	Beam	MAX.	Maximum	GYP. BD.	Gypsum board
B.U.	Built-up	M.G.	Medicine cabinet	H.B.	Hose bib
CEIL.	Ceiling	MIN.	Minimum	HORIZ.	Horizontal
G.I.	Galvanized iron	MIR.	Mirror	HT.	Height
COL.	Column	MFR. SPEC'S	Manufacturer's specifications	H.W.T.	Hot water tank
CONC.	Concrete	MW.	Microwave	INSUL.	Insulation
CONC. BLK	Concrete block	N.B.C.	National Building Code	L.C.	Laundry chute
C.S.	Crawlspace	N.T.S.	Not to scale	LDRY.	Laundry
D.	Dryer	OBSC.	Obscure	LIN.	Linen
DIAM.	Diameter	O.C.	On centre	U/S	Underside
DN.	Down	O.H.	Overhead	W.	(Clothes) Washer
D.W.	Dishwasher	PKT	Pocket door	W/	With
DIM.	Dimension	PLYWD	Plywood	W.C.	Water closet
ELEV.	Elevation	R.	Range	WD.	Wood
E.Q.	Equal	REQD	Required	W.P.	Weatherproof
F.	Refrigerator	R.C.	Rubber cover	W.W.M.	Welded wire mesh
F.D.	Floor drain	R. & S.	Rod and shelf	VERT.	Vertical
FTG.	Footing	RM.	Room	V.B.	Vapour barrier
FND.	Foundation	R.O.	Rough opening		
FR.	Freezer	S.	Sink		



**FLOOR & ROOF SCHEDULE**

- (A) GARAGE SLAB ON GRADE**  
FLOOR FINISH: SMOOTH CONCRETE  
4" CONC. SLAB  
6 MIL. POLY VAPOUR BARRIER  
5" GRANULAR FILL
- (B) INTERIOR SLAB ON GRADE**  
FLOOR FINISH: ENGINEERED VINYL PLANKS - HARRISON PINE DARK MULTI-WIDTH X 47.6 INCH LUXURY  
4" CONC. SLAB  
6 MIL. POLY VAPOUR BARRIER  
3" XPS INSULATION (R12)  
5" GRANULAR FILL
- (C) SUB FLOOR OVER CANTILEVERED DINING ROOM**  
FLOOR FINISH: HAKWOOD "TRANQUILITY"/EUROPEAN  
WHITE OAK/5 59" OIL FINISH  
3/4" OSB SUBFLOOR  
12" WOOD JOISTS  
10" BATT INSULATION  
3" XPS RIGID INSULATION SOFFIT
- (D) SUB FLOOR**  
FLOOR FINISH: HAKWOOD "TRANQUILITY"/EUROPEAN  
WHITE OAK/5 59" OIL FINISH  
3/4" OSB SUBFLOOR  
12" WOOD JOISTS  
1/2" GWB ON CEILING
- (E) SUB FLOOR OVER GARAGE**  
FLOOR FINISH: HAKWOOD "TRANQUILITY"/EUROPEAN  
WHITE OAK/5 59" OIL FINISH  
3/4" OSB SUBFLOOR  
12" WOOD JOISTS  
12" BATT INSULATION  
1/2" GWB ON CEILING
- (F) ROOF**  
ROOFING FINISH: STANDING SEAM METAL ROOF - COLOUR: NAVY  
INSTALL ICE AND WATER SHIELD UNDER EACH PANEL  
5/8" OSB ROOF SHEATHING  
MANUFACTURED TRUSSES  
16" MIN. BLOW-IN CELLULOSE INSULATION  
6 MIL. POLY VAPOUR BARRIER  
1/2" GWB

1 BUILDING SECTION  
1/4" = 1'-0"

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No.	Revision	Date	By
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PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**BUILDING SECTION**

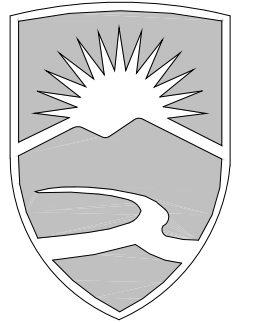
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1/4" = 1'-0"

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DATE 04/06/20	JOB NO. 001
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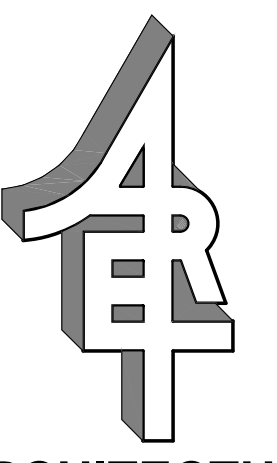
DRAWING NO.

**A9**



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**ARCHITECTURAL AND ENGINEERING TECHNOLOGY**

No.	Revision	Date	By

PROJECT NAME  
**GRANDVIEW FAMILY HOME**

DRAWING TITLE  
**WALL SECTION**

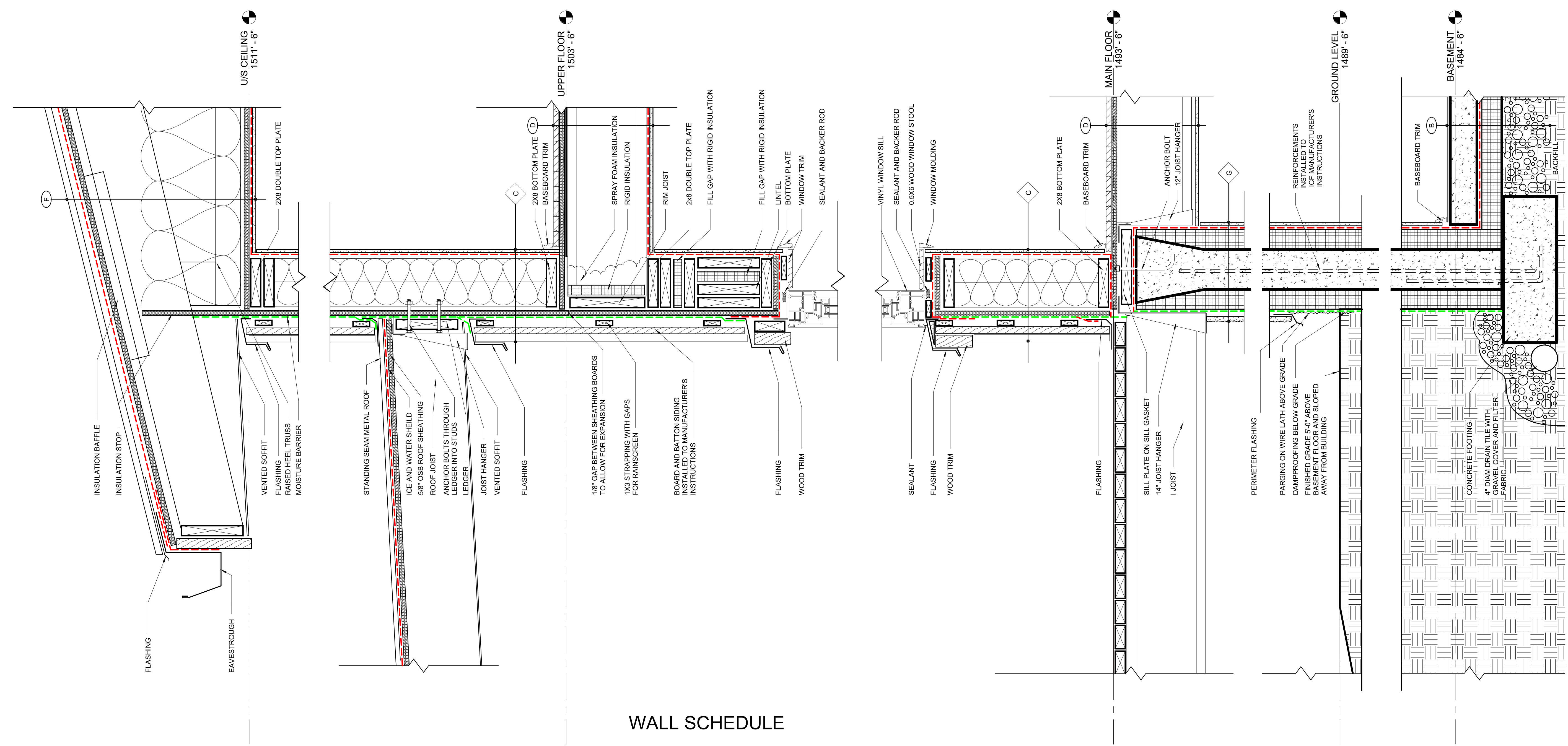
SCALE  
As indicated 1 1/2" = 1'-0"

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DATE 04/10/20	JOB NO. 001
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DRAWING NO.

**A10**



**WALL SCHEDULE**

- A** TYPE A: 4 1/2" WOOD FRAME PARTITION WALL  
1/2" GWB  
2"x4" STUDS @ 24" O.C.  
1/2" GWB
- B** TYPE B: 6" WOOD FRAME PLUMBING/LOAD BEARING WALL  
1/2" GWB  
2"x6" STUDS @ 24" O.C.  
1/2" GWB
- C** TYPE C: 8" DOUBLE STUD EXTERIOR WALL  
VERTICAL BOARD AND BATTON SIDING  
1/2" FURRING STRIPS  
MOISTURE BARRIER (BUILDING PAPER)  
1/2" OSB SHEATHING  
8" SPRAY APPLIED CELLULOSE INSUL. BETWEEN STUDS  
2"x8" TOP AND BOTTOM PLATES  
2"x4" STUDS @ 24" O.C., OFFSET ON  
6 MIL POLY VAPOUR BARRIER  
1/2" GWB ON INTERIOR
- D** TYPE D: 8" DOUBLE STUD EXTERIOR WALL  
STONE VENEER  
MOISTURE BARRIER (2 LAYERS OF BUILDING PAPER)  
1/2" OSB SHEATHING  
8" SPRAY APPLIED CELLULOSE INSUL. BETWEEN STUDS  
2"x8" TOP AND BOTTOM PLATES  
2"x4" STUDS @ 24" O.C., OFFSET ON  
6 MIL POLY VAPOUR BARRIER  
1/2" GWB ON INTERIOR
- F** TYPE F: EXTERIOR RETAINING WALL  
8" CAST IN PLACE CONCRETE WALL
- G** TYPE G: INSULATED CONCRETE FORM WALL  
BELOW GRADE: WATER PROOF MEMBRANE OR DRAIN MAT ON EXTERIOR  
ABOVE GRADE: STUCCO  
PARPING ON WIRE LATH  
MOISTURE BARRIER (2 LAYERS OF BUILDING PAPER)  
3" ICF PANEL  
6" CONCRETE CORE  
3" ICF PANEL  
1/2" GWB ON INTERIOR MECHANICALLY FASTENED TO ICF WEBS (NO GLUE)

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4" CONC. SLAB  
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5" GRANULAR FILL
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